



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **SA27B/69**
Land Registration District **South Auckland**
Date Issued 27 August 1981

Prior References
SA782/24

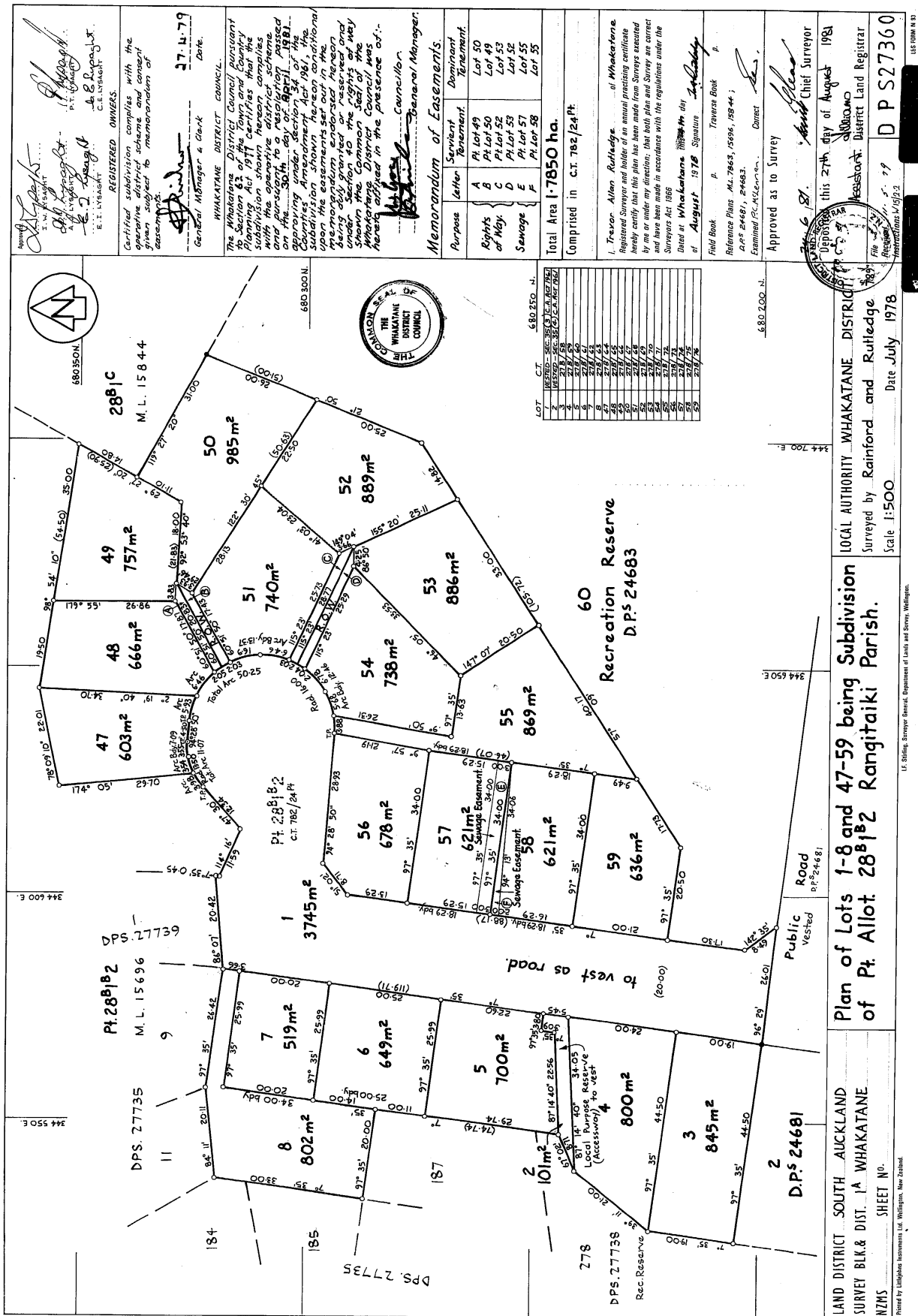
Estate Fee Simple
Area 889 square metres more or less
Legal Description Lot 52 Deposited Plan South Auckland
27360

Registered Owners
Philip Owen Harris, Joanne Harris and BK Trustees Limited

Interests

Appurtenant hereto are rights of way specified in Easement Certificate H362142.6 - 27.8.1981 at 11.46 am
Subject to rights of way over part marked C on DPS 27360 specified in Easement Certificate H362142.6 - 27.8.1981 at 11.46 am
The easements specified in Easement Certificate H362142.6 are subject to Section 37 (1) (a) Counties Amendment Act 1961
Fencing Covenant in Transfer B177971.2 - 17.12.1993 at 10.40 am
Land Covenant in Transfer B177971.2 - 17.12.1993 at 10.40 am
Appurtenant hereto is a right of way created by Easement Instrument 11173692.2 - 29.8.2018 at 5:33 pm

30/6/1986



View Instrument Details



Instrument No 11173692.2
Status Registered
Date & Time Lodged 29 August 2018 17:33
Lodged By Gowing, Roger Owen
Instrument Type Easement Instrument



Affected Computer Registers	Land District
SA27B/68	South Auckland
SA27B/69	South Auckland

Annexure Schedule: Contains 4 Pages.

Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument ✓
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument ✓
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply ✓
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period ✓
- I certify that the Mortgagee under Mortgage 6018735.3 has consented to this transaction and I hold that consent ✓
- I certify that the Mortgagee under Mortgage 8558869.2 has consented to this transaction and I hold that consent ✓

Signature

Signed by Roger Owen Gowing as Grantor Representative on 06/09/2018 03:02 PM

Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument ✓
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument ✓
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply ✓
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period ✓

Signature

Signed by Roger Owen Gowing as Grantee Representative on 06/09/2018 03:02 PM

*** End of Report ***

Easement instrument to grant easement or *profit à prendre*, or create land covenant
(Sections 90A and 90F Land Transfer Act 1952)

2015/6246
APPROVED
Registrar-General of Land

Page 1 of 3 pages

Grantor

Finnbogi Hilmar PALSSON, Nicola Marie BRYANT and BK TRUSTEES LIMITED

Grantee

Philip Owen HARRIS, Joanne HARRIS and BK TRUSTEES LIMITED

Grant of Easement or *Profit à prendre* or Creation of Covenant

The Grantor being the registered proprietor of the servient tenement(s) set out in Schedule A grants to the Grantee (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s)

Schedule A

Continue in additional Annexure Schedule, if required

Purpose (Nature and extent) of easement; <i>profit</i> or covenant	Shown (plan reference)	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register) or in gross
Right of Way	B, DP 512536	Lot 51 DPS 27360 (SA27B/68)	Lot 52 DPS27360 (SA27B/69)

Easements or profits à prendre rights and powers (including terms, covenants and conditions)

Delete phrases in [] and insert memorandum number as required; continue in additional Annexure Schedule, if required

Unless otherwise provided below, the rights and powers implied in specified classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or Schedule Five of the Property Law Act 2007

The implied rights and powers are hereby **[varied]** ~~**[negative]**~~ **[added to]** or **[substituted]** by:

~~**[Memorandum number]**~~, registered under section 155A of the Land Transfer Act 1952]

~~**[the provisions set out in Annexure Schedule 1]**~~

Covenant provisions

Delete phrases in [] and insert Memorandum number as required; continue in additional Annexure Schedule, if required

~~The provisions applying to the specified covenants are those set out in:~~

~~**[Memorandum number]**~~, registered under section 155A of the Land Transfer Act 1952]

~~**[Annexure Schedule]**~~

Annexure Schedule

Page 3 of 3 Pages

2015/5049
APPROVED
Registrar-General of Land

Insert instrument type

Easement

Continue in additional Annexure Schedule, if required

ANNEXURE SCHEDULE 1


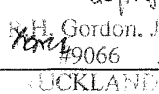

Rights and Powers:

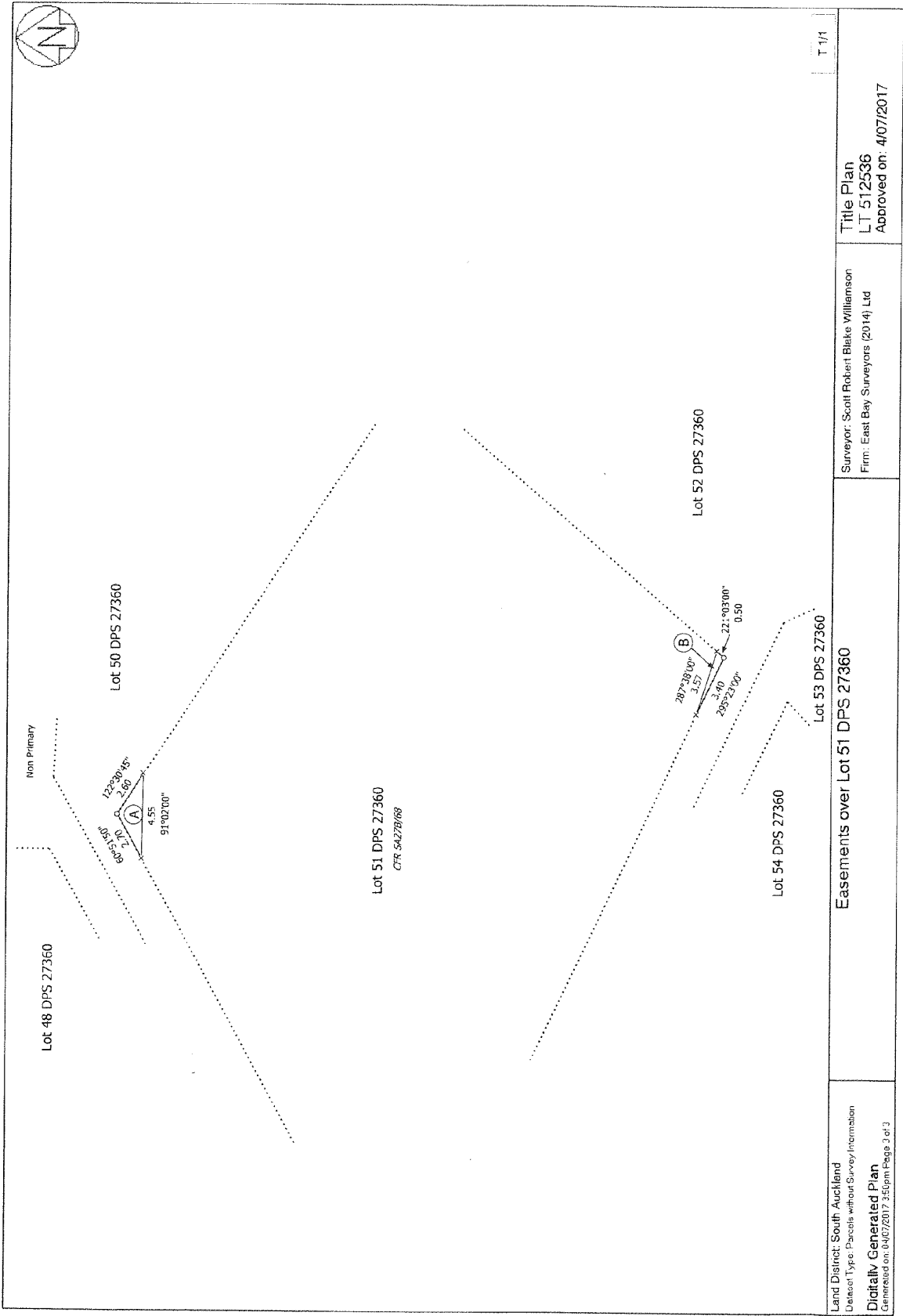
1. The rights and powers set out in the Forth Schedule to the Land Transfer Regulations 2002 are herein implied except as they are added to or substituted hereto.
2. Where there is a conflict between the provision of the Fourth Schedule to the Land Transfer Regulations 2002 and the modifications in this Easement Instrument the modifications shall prevail.
3. No power is implied in respect of any easement for the Grantor to determine the easement for breach of any provision of this instrument (whether expressed or implied) or for any other cause, it being the intention of the parties that each easement shall subsist for all time unless it is surrendered.

The Maintenance provisions in the Forth Schedule of the Land Transfer Regulations 2002 are modified as follows:

1. The word "equally" in clause 11(2) of the Forth Schedule of the Land Transfer Regulations 2002 shall be read as "for a reasonable contribution in proportion to their use".
2. Any maintenance, repair or replacement of the easement facilities on the servient or dominant land over the stipulated course that is necessary because of any act or omission by the Grantor must be carried out promptly by the Grantor and at the sole costs of the Grantor. Where the act or omission is the partial cause of the maintenance, repair or replacement, the costs payable by the Grantor responsible must be in proportion to the amount attributable to that act or omission (with the balance payable in accordance with clause 11 of the Fourth Schedule to the Land Transfer Regulations 2002).
3. Any maintenance, repair or replacement of the easement facilities on the servient or dominant land over the stipulated course that is necessary because of any act or omission by the Grantee must be carried out promptly by the Grantee and at the sole cost of the Grantee. Where the act or omission is the partial cause of the maintenance, repair or replacement, the costs payable by the Grantee responsible must be in proportion to the amount attributable to that act or omission (with the balance payable in accordance with clause 11 of the Fourth Schedule to the Land Transfer Regulations 2002).

If this annexure schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

 RA Gordon
 H. Gordon, Jr
 [illegible]
 22/7/18 22/7/18
 REF: 7225 - AUCKLAND DISTRICT LAW SOCIETY INC. AUCKLAND
 The Peace for New Zealand



RID DOCUMENT

Date: 27 November 2020

Valuation Number: 07111 187 00

Location: 7 RURIMA RISE

Legal Description: LOT 52 DPS 27360

Area (Ha): 0.0889

Valuation Date: 1 September 2019

	Normal Values	Special Values (if applicable)
Land Value:	250,000	
Improve Value:	640,000	
Capital Value:	890,000	
Tree Value:	0	

Contiguous Property:

2021 Year's Assessed Rates: 4,225.43

Instalment 1: 21 Aug 2020

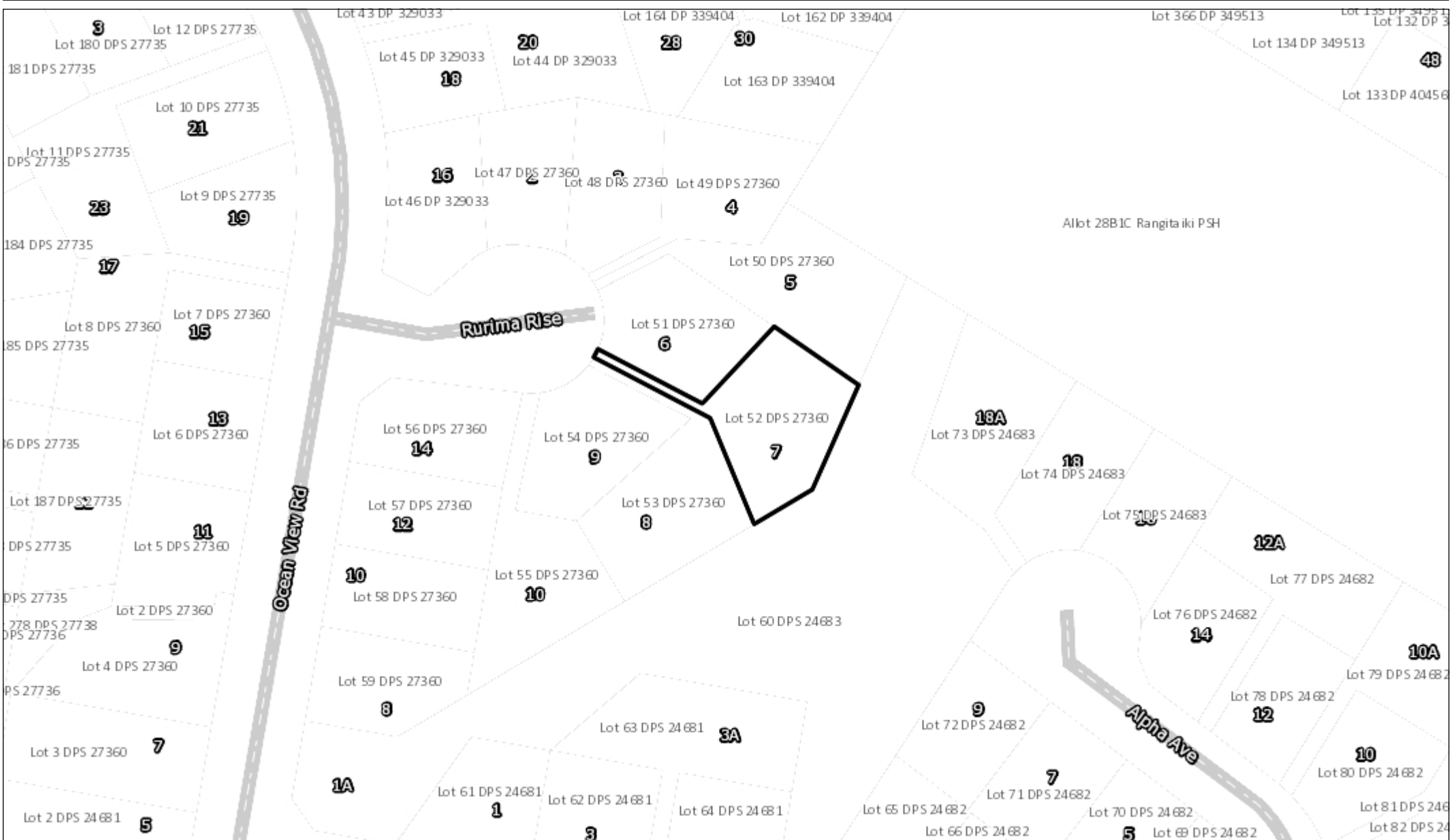
Instalment 2: 20 Nov 2020

Instalment 3: 26 Feb 2021

Instalment 4: 21 May 2021

Date Printed: 27 November 2020	Property Map	Prepared By:
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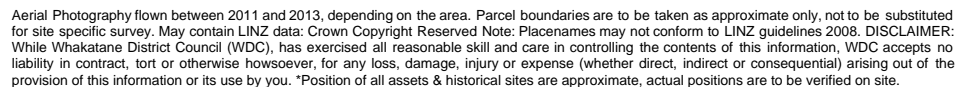
Prepared By:



SCALE 1: 1,128

57.3 0

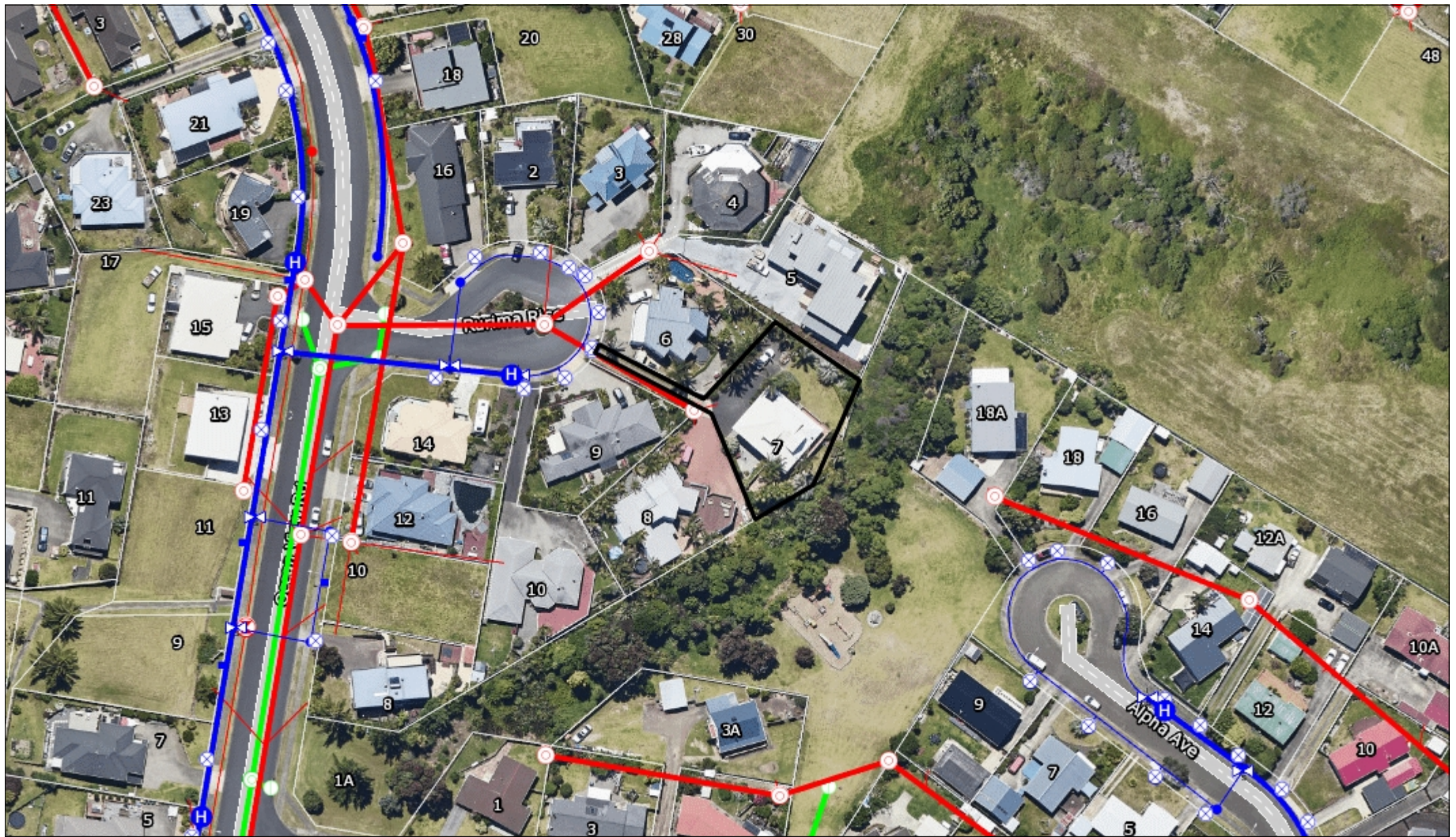
Projection: NZGD_2000_New_Zealand_Transverse_Mercator 57.3 Meters



Services Map

Date Printed: 27 November 2020

Prepared By:



SCALE 1: 1,128

57.3 0

Projection: NZGD_2000_New_Zealand_Transverse_Mercator

57.3 Meters



Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Community Facilities Map

Date Printed: 27 November 2020

Prepared By:



57.3

SCALE 1: 1,128
0

Projection: NZGD_2000_New_Zealand_Transverse_Mercator

57.3 Meters



Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Operative District Plan A-Side Map

Date Printed: 27 November 2020

Prepared By:



57.3

SCALE 1: 1,128
0

Projection: NZGD_2000_New_Zealand_Transverse_Mercator

57.3 Meters



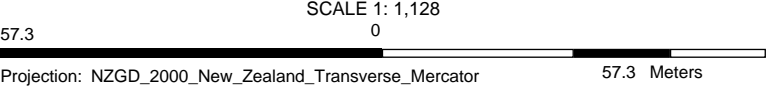
Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Operative District Plan B-Side Map

Date Printed: 27 November 2020

Prepared By:



Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



BOPRC Map

Date Printed: 27 November 2020

Prepared By:



SCALE 1: 1,128
0

57.3

Projection: NZGD_2000_New_Zealand_Transverse_Mercator

57.3 Meters















Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.














LIM Services Legend




















Stormwater

-  Inlet
-  Manhole
-  Miscellaneous
-  Node
-  Pump Station
-  Open Drain
-  Dam
-  Connection
-  Main
-  Rising Main
-  Soakage Area
-  Scheme

Waste Water

-  Valve
-  Pump Station
-  Node
-  Miscellaneous
-  Manhole
-  Outlet
-  Connection
-  Main
-  Riser Main
-  Facility
-  Scheme











Water Supply

-  Back Flow Preventer
-  Hydrant
-  Bulk Meter
-  Customer Meter
-  Air Release
-  Control Valve
-  Isolation Valve
-  Isolation Valve Closed
-  Non Return Valve
-  Pump Station
-  Bore (Source)
-  Bore BOPRC
-  Node
-  Toby
-  Connection
-  Main
-  Rider Main
-  Reservoir
-  Scheme

LIM Culture and Heritage Legend

-  District Plan Cultural and Built Heritage Site
-  NZ Historic Places Trust Register
-  Ngati Awa Historical Site
-  NZAA Archaeological Site
-  Marae Location
- Tuwharetoa Settlement
-  Tuwharetoa Settlement Area
-  Maori Whenua

LIM Community Facilities Legend

-  Aquatic Centres
-  Public Conveniences
-  Sports Facilities Grounds
-  Council Owned/Administered Land
-  Commercial
-  Community Halls
-  Operational Properties
-  Other Properties
-  Pensioner Housing
-  Asset Boundaries

LIM District Plan Legend

Coastal Hazards

- Variable ERZ Levels
- 2060 Erosion Risk Zone
- 2100 Erosion Risk Zone
- Current Erosion Risk Zone
- 103.3m Moderate Inundation Risk Zone
- 103.6m Moderate Inundation Risk Zone
- 104.0m Moderate Inundation Risk Zone
- 104.1m Extreme Inundation Risk Zone
- 104.55m Extreme Inundation Risk Zone
- 104.7m Extreme Inundation Risk Zone
- Variable Extreme Inundation Risk Zone

Natural Hazard

- Natural Hazard (NHaz 4)
- Natural Hazard

Planning Zones

- Business Centre
- Coastal Protection (CPZ)
- Commercial
- Community and Cultural
- Education
- Industrial
- Large Format Retail
- Light Industrial
- Residential
- Urban Living
- Mixed Use
- Active Reserve
- Deferred Residential
- Rural Coastal
- Rural Foothills
- Rural Ohiwa
- Rural Plains

Landscape, Natural and Cultural Features

- Significant Specimen Trees
- Significant Identified Ridgeline
- Outstanding Natural Feature and Landscape
- Significant Amenity Landscape
- Significant Indigenous Biodiversity Site
- Cultural Heritage Site
- Cultural & Built Heritage Sites (Points)
- Cultural & Built Heritage Sites (Polygons)

Features


- Amenity Building Line
- Pedestrian Street
- Restricted Vehicle Access
- Road Widening
- Gas Transmission Pipeline Corridor
- National Grid Centre Line
- Railway Corridor Buffer 100m
- Designation
- State Highway
- Limited Access Road
- District Arterial Roads
- Coastal Environment Line
- 12m Height Restriction
- Oxidation Pond Buffer (300m)
- Key Urban Space
- Omeheu Spray Irrigation Scheme
- Proposed Road
- Strand Character Area
- WHK River Greenway concept
- Statutory Acknowledgements


Area Specific Overlays

- Bird Nesting Vehicle Restriction Area
- Edgecumbe Dairy Factory Site
- Edgecumbe Dairy Noise Contour
- Awakeri Quarry Buffer
- Mill Waste Contaminated Site
- Whakatane Board Mill
- Kawerau Geothermal Exploration Area
- Overland Flow Paths


LIM BOPRC Legend


Asset Register Bylaw Authority


 Drain


 Defence Against Water


Protection Feature, Applicable Distance

 Within 12m of a drain

 Land side of defence against water

 Between the bank of any watercourse and any defence against water

 Rangitaiki floodway

 Spillway

Pump Schemes



































	ANGLE ROAD PUMPING SCHEME
	AWAITI EAST PUMPING SCHEME
	AWAITI WEST PUMPING SCHEME
	AWAKERI FARMS PUMPING SCHEME
	BAIRD/MILLER PUMPING SCHEME
	FOUBISTER PUMPING SCHEME
	GORDON PUMPING SCHEME
	GREIG ROAD PUMPING SCHEME
	HALLS PUMPING SCHEME
	HYLAND/BAILLIE PUMPING SCHEME
	KUHANUI PUMPING SCHEME
	LAWRENCE PUMPING SCHEME
	LONGVIEW RICHLANDS PUMPING SCHEME
	LUXTON VALLEY PUMPING SCHEME
	MARTIN PUMPING SCHEME
	MASSEY PUMPING SCHEME
	MEXTED/WITHY PUMPING SCHEME
	MURRAY PUMPING SCHEME
	NICHOLAS PUMPING SCHEME
	NOORD VIERBOOM PUMPING SCHEME
	OMEHEU ADJUNCT PUMPING SCHEME
	OMEHEU EAST PUMPING SCHEME
	OMEHEU WEST PUMPING SCHEME
	PEDERSEN PUMPING SCHEME
	PLATTS PUMPING SCHEME
	POPLAR LANE PUMPING SCHEME
	REYNOLDS PUMPING SCHEME
	RIVERSLEA PUMPING SCHEME
	ROBINS ROAD PUMPING SCHEME
	ROBINSON PUMPING SCHEME
	THOMPSON/ERNEST PUMPING SCHEME
	TRAVURZAS PUMPING SCHEME
	WITHY PUMPING SCHEME
	WYLD PUMPING SCHEME



Figure 4.2 – Exposure zone map (see 4.2.2)

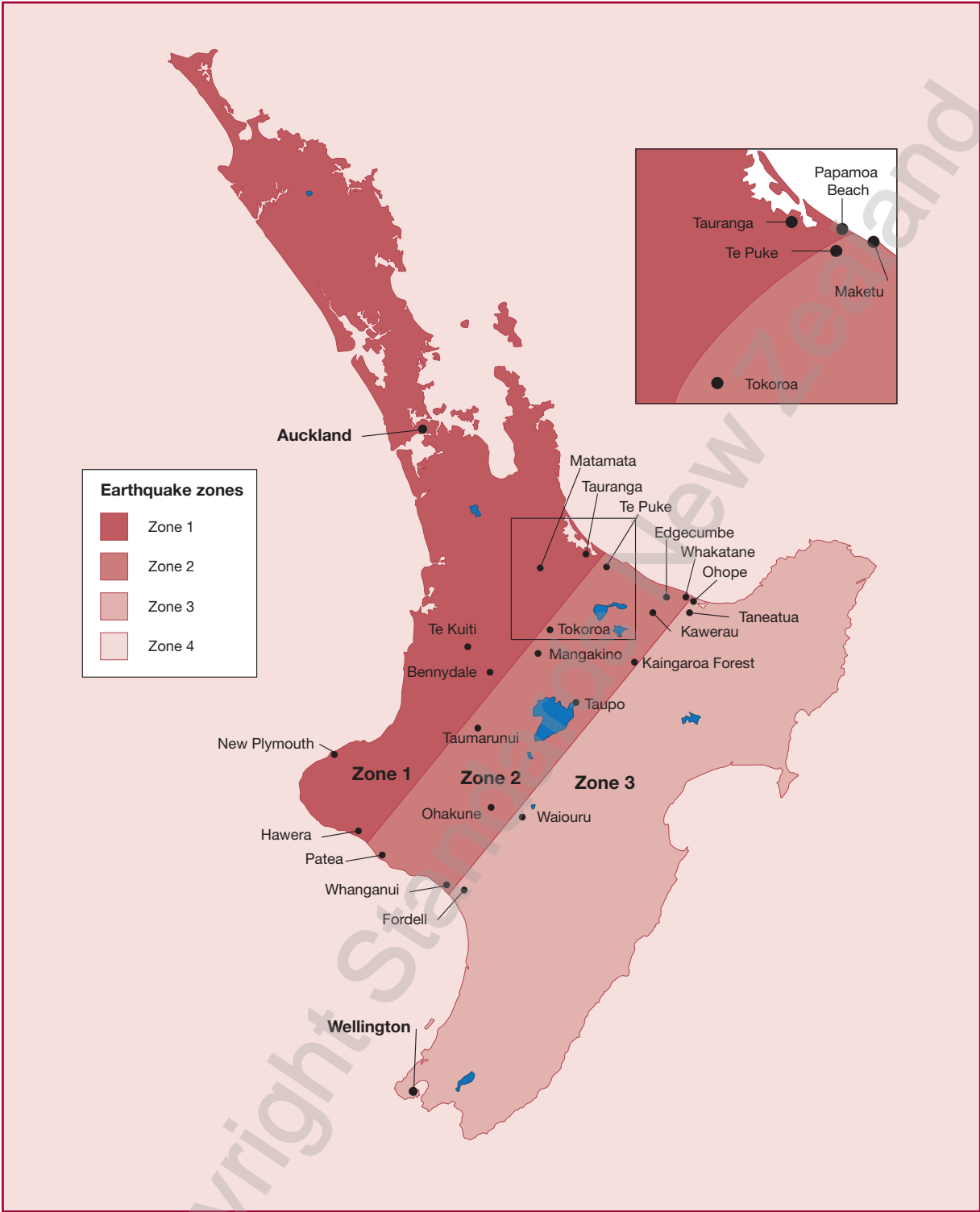
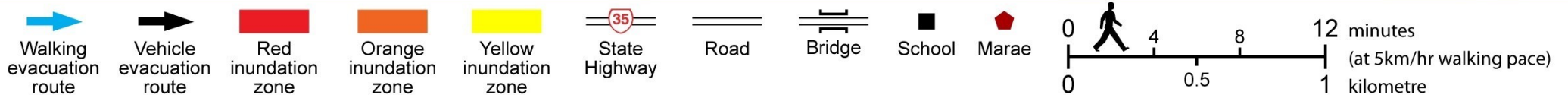


Figure 5.4 – Earthquake zones (see 5.3.2)



Tsunami Evacuation Route Map

Whakatane District Council



Address all letters to:

THE GENERAL MANAGER, WHAKATANE DISTRICT COUNCIL, PRIVATE BAG 1002, WHAKATANE 3080.

TELEPHONE (07) 307-9800

FAX No. (07) 308-5804

CODE COMPLIANCE CERTIFICATE 3909

Section 43, Building Act 1991

BUILDING CONSENT NO: 3909

PIM NO: 3909

APPLICANT

PO/J Harris
PO Box 213
Whakatane

PROJECT LOCATION

Site Address: 7 Rurima Rise
Whakatane
Legal Description: LOT 52
Valuation Number: 7111/187/00/

PROJECT

New Building-Exclude Garage&Outbuilding

Intended Use: NEW DWELLING
Greater than 50 years

Being stage 1 of and intended 1 stage(s)

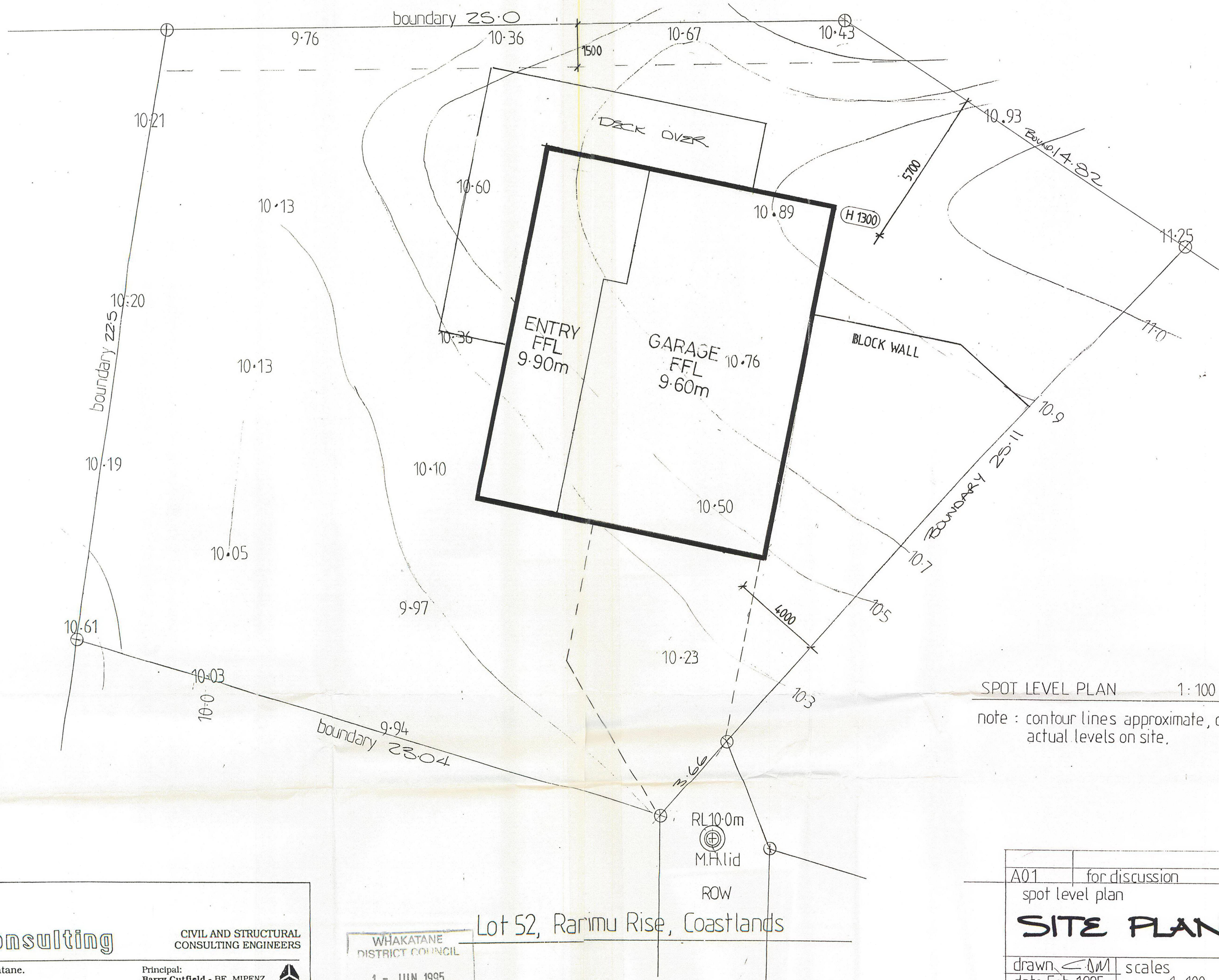
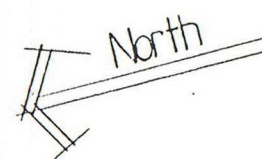
This is a final code compliance certificate issued in respect of all the building work under the building consent.

Name: *X Belshaw*

Position: *Bldg Assistant* DATE: Wed Feb 19 1997



Environmental Services Department



SPOT LEVEL PLAN 1:100

note : contour lines approximate, confirm actual levels on site.

h Cutfield Consulting

CIVIL AND STRUCTURAL
CONSULTING ENGINEERS

50 Strand East, P.O. Box 37, Whakatane.
Telephone (07)3071444.

Principal:
Barry Cutfield - BE, MIPENZ



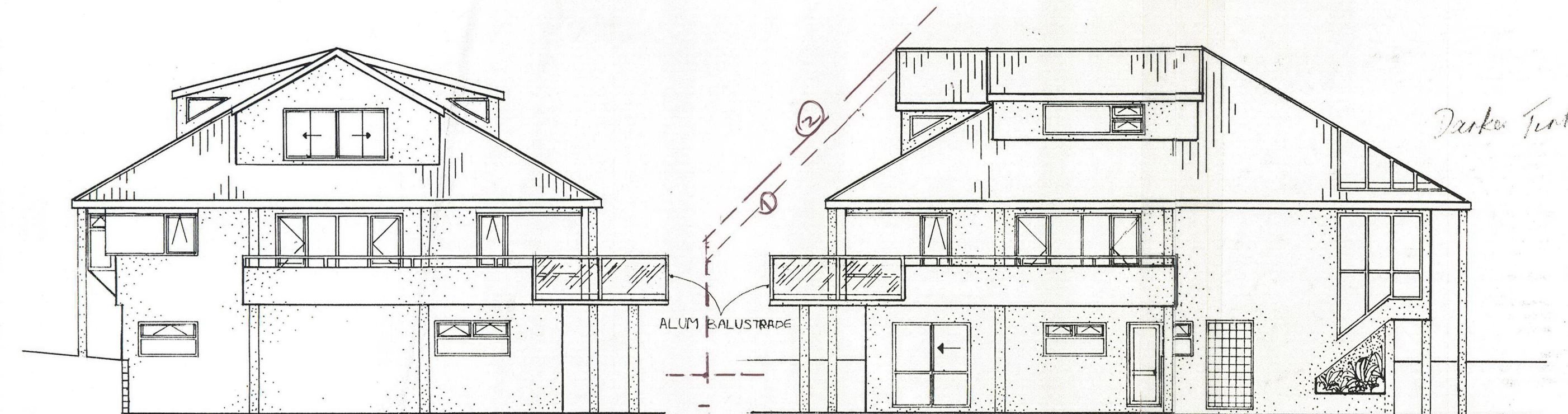
WHAKATANE
DISTRICT COUNCIL

1 - JUN 1995

approved BH

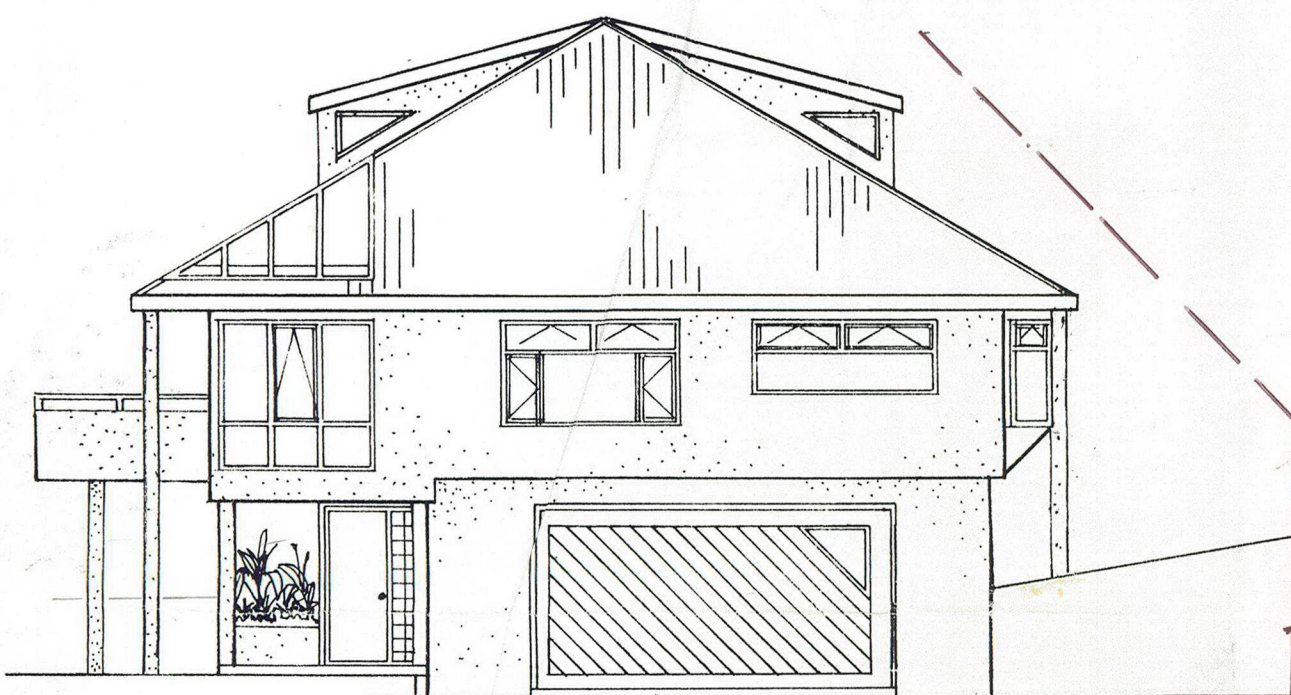
Lot 52, Rarimu Rise, Coastlands

A01	for discussion	C&M	13/2/95
spot level plan		sheet	
SITE PLAN		9	
drawn C&M	scales	series of 1	
date Feb 1995	1:100	ref 34595	

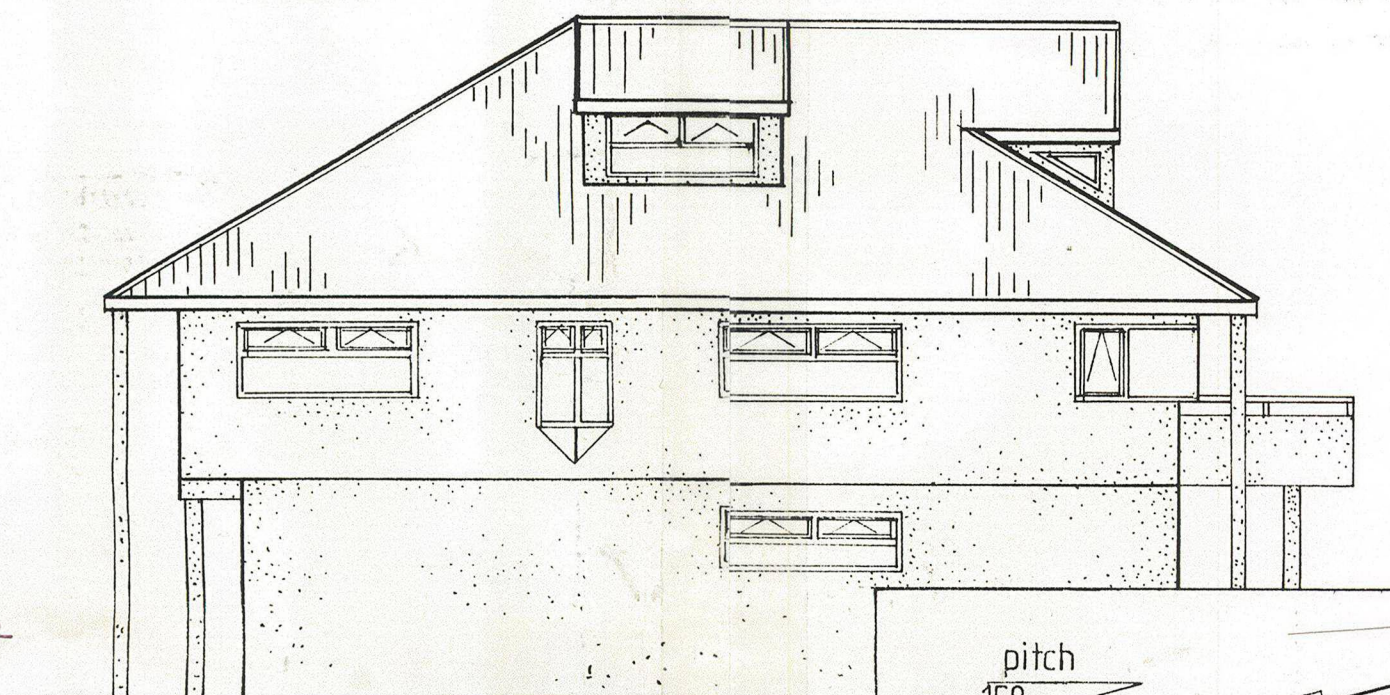


EAST

NORTH

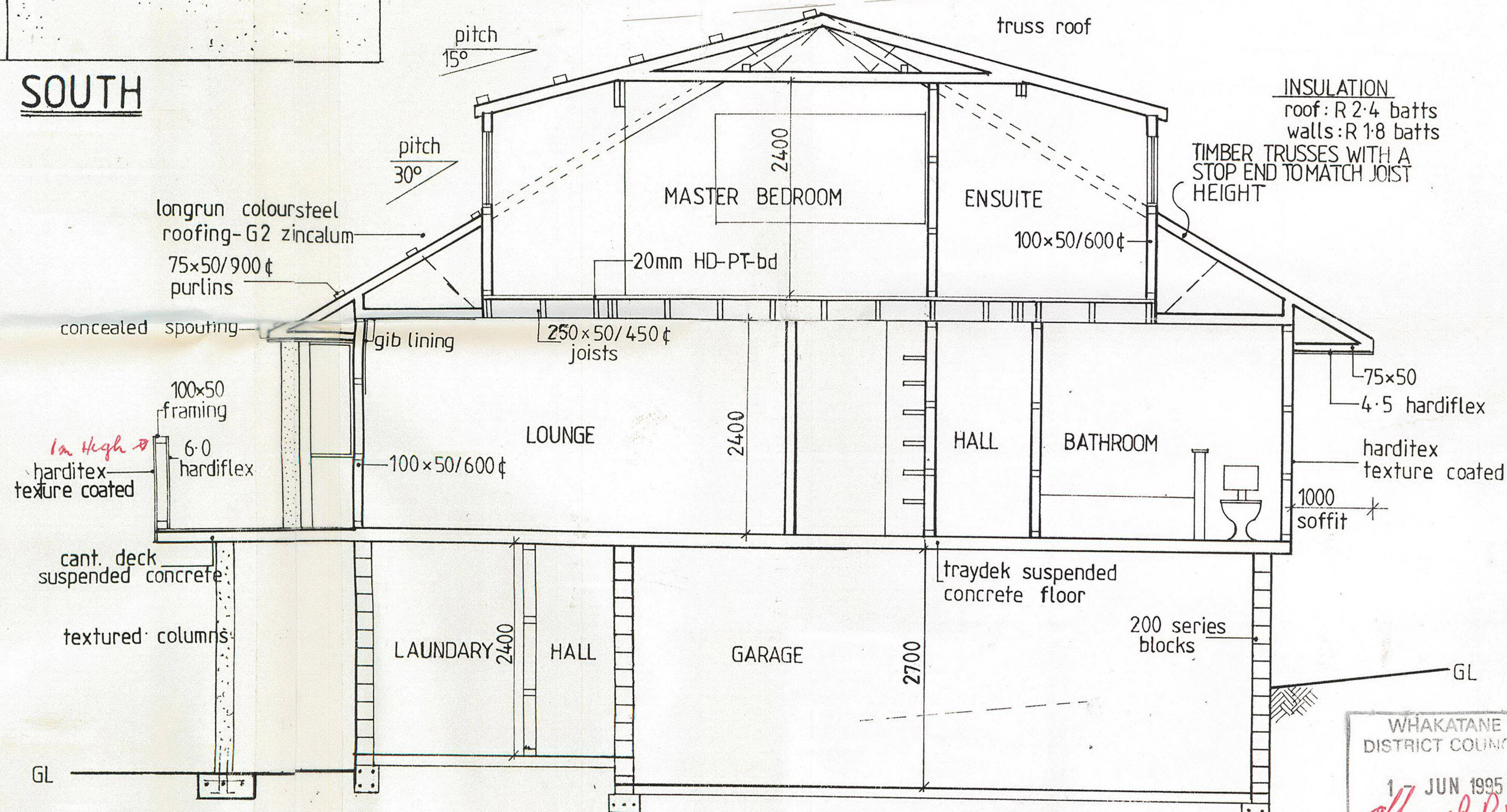


WEST



SOUTH

**NEW RESIDENCE
MR & MRS. P. HARRIS
RURIMA RISE COASTLANDS.**



CONSTRUCTION NOTES.

- Concrete construction shall be in accordance with NZS 3109. Minimum concrete compressive strength at 28 days shall be 25 MPa for the first floor slab, 20 MPa for circular columns and retaining wall footings, 17.5 MPa elsewhere.
- Reinforced hollow concrete masonry construction shall be in accordance with NZS 4210 for Grade B construction. The Design Engineer shall be notified at least two working days in advance of any grouting.
- Reinforced hollow concrete masonry shall be grouted solid.
- Retaining walls shall not be backfilled until concrete has attained its specified strength, unless adequate temporary bracing has been installed.
- Temporary propping shall be installed in the following locations until the first floor slab has attained its specified strength.
 - traydeck 300 - 0.75mm shall be propped at midspan.
 - first shell beams shall be propped at 300 mm from supports and at midspan unless instructed otherwise from manufacturer.
- Structural steel shall be Grade 250 (AS 1204) or equivalent. Fabrication and erection of structural steelwork shall meet the requirements of NZS 3404:1992 and shall be in accordance with best trade practice.
- Prior to painting, structural steelwork shall be solvent cleaned to SSPC SP1 specification, and power tool cleaned to SSPC SP3. Protective coatings shall comprise zinc chromate shop primer (40 micron dft).
- Structural timber shall be No.1 Framing Grade Pinus Radiata, or Standard Building Grade Douglas Fir, unless specified otherwise.
- Light timber framed construction shall be in accordance with NZS 3604:1990 unless specified otherwise on the plans.
- Check all dimensions on site.
- Proprietary systems, and products, shall be installed strictly in accordance with the manufacturers' recommendations.
- Foundation design assumes that the site requirements of NZS 3604:1990 are met, and that the foundation subsoils have a safe allowable bearing pressure of 100 kPa.
- All construction shall meet the requirements of the New Zealand Building Code Approved Documents.

3000 LINE

INSULATION
roof: R 2.4 batts
walls: R 1.8 batts

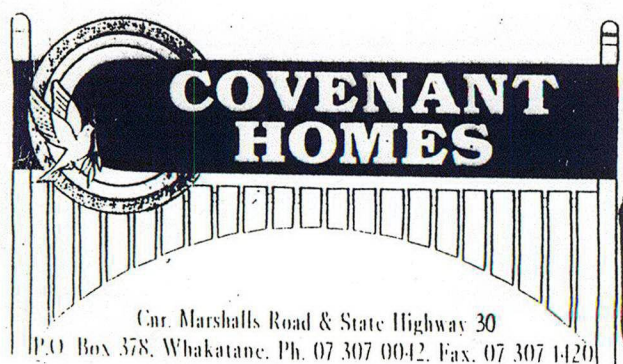
TIMBER TRUSSES WITH A
STOP END TO MATCH JOIST
HEIGHT

75x50
4.5 hardiflex
harditex
texture coated
1000
soffit

SECTION A-A
1:50

HARRIS

drawing number. 1 of 7

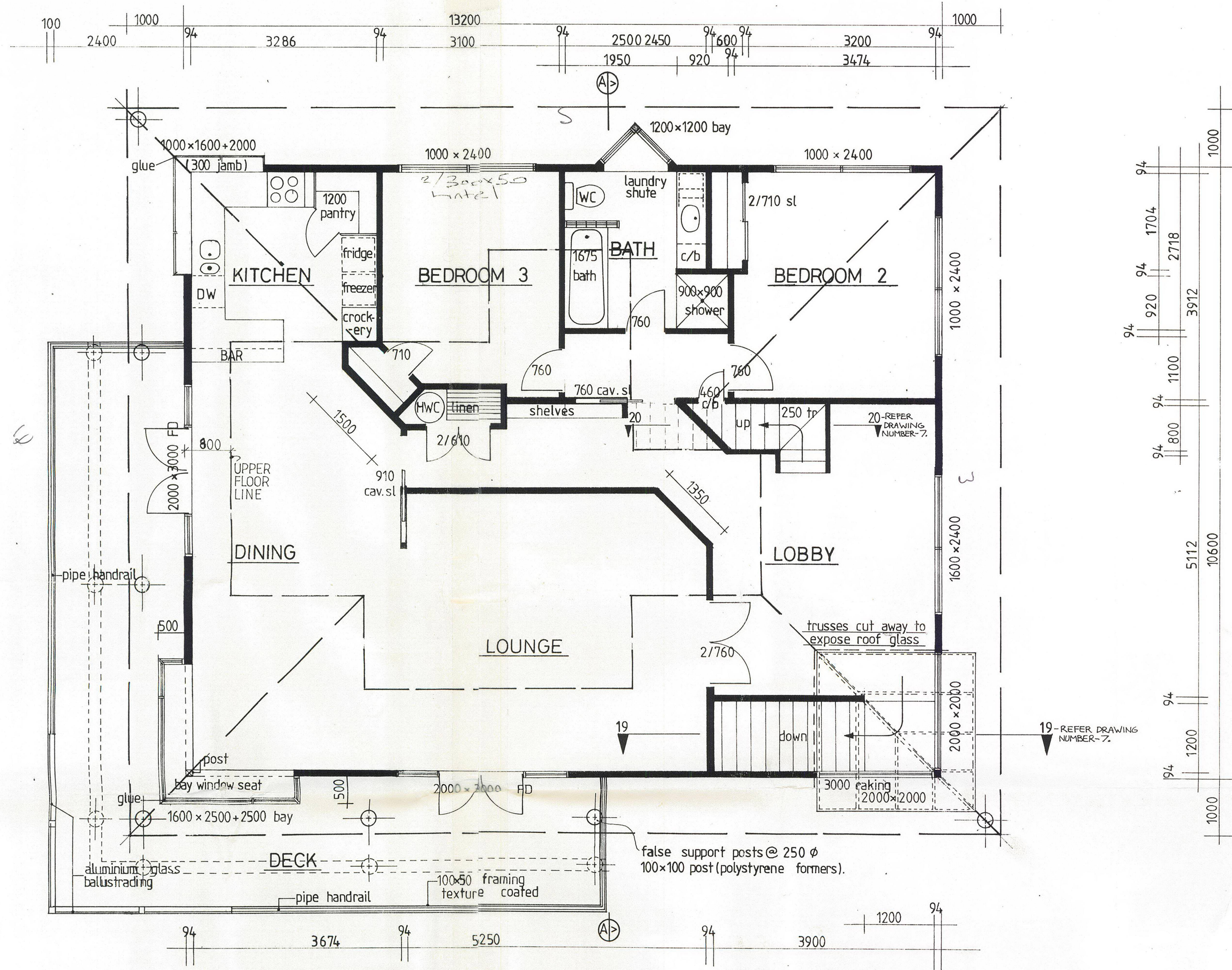


THESE PLANS REMAIN THE PROPERTY OF
COVENANT HOMES AND MAY NOT BE
COPIED OR REPRODUCED WITHOUT
AUTHORISATION OF THE COMPANY



Car. Marshalls Road & State Highway 30
P.O. Box 578, Whakatane, Ph. 07 307 0042, Fax. 07 307 1420

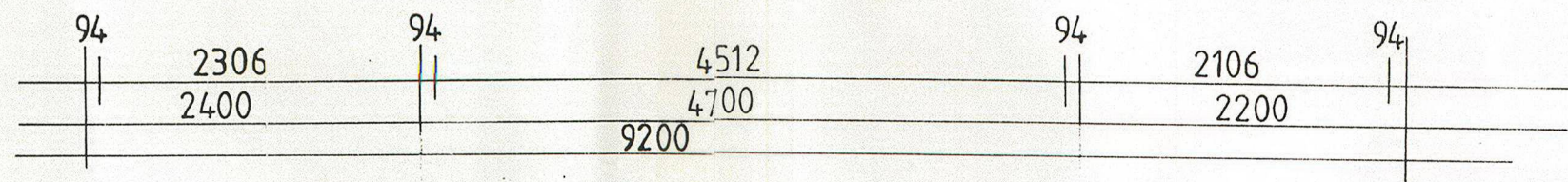
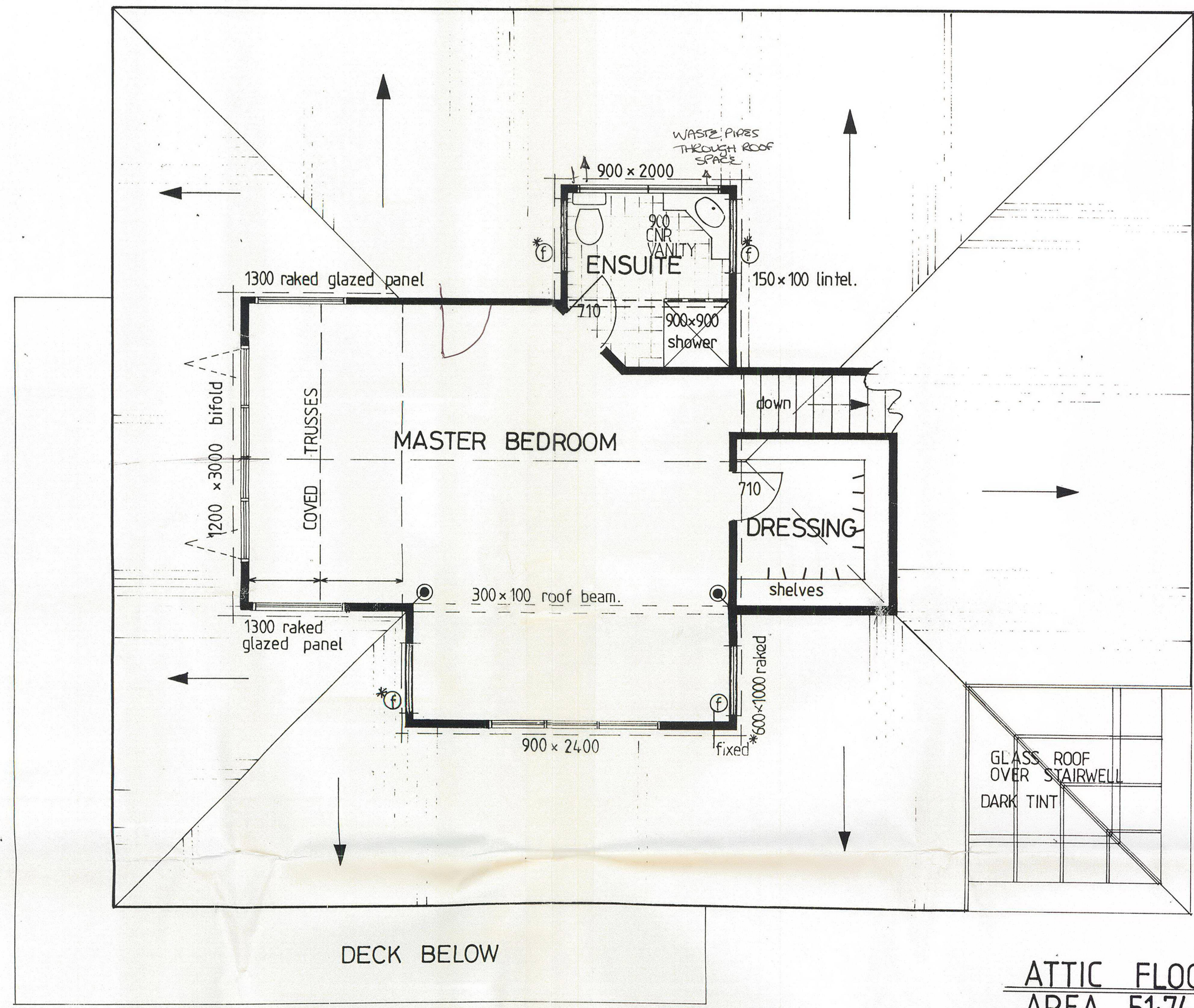
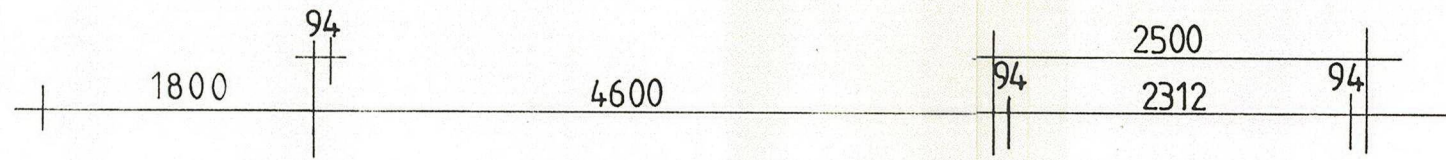
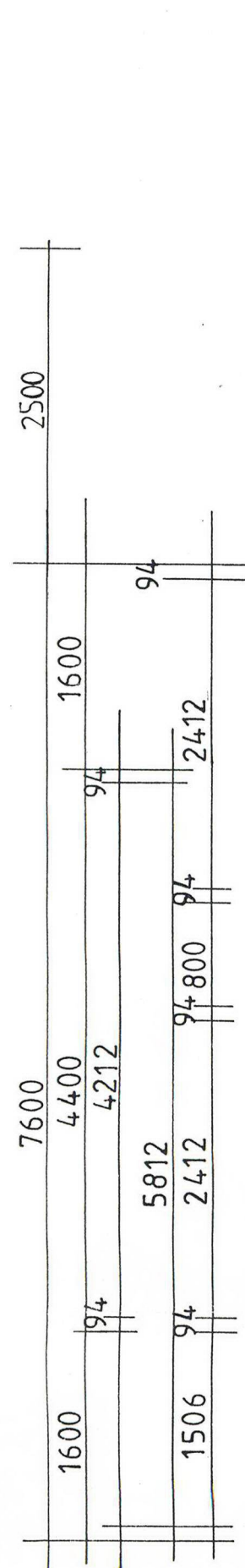




PLAN-FIRST FLOOR 1:50
AREA 141m

NEW DWELLING
MR MRS. P. HARRIS
RURIMA RISE COASTLANDS

drawing number. (2) of 7



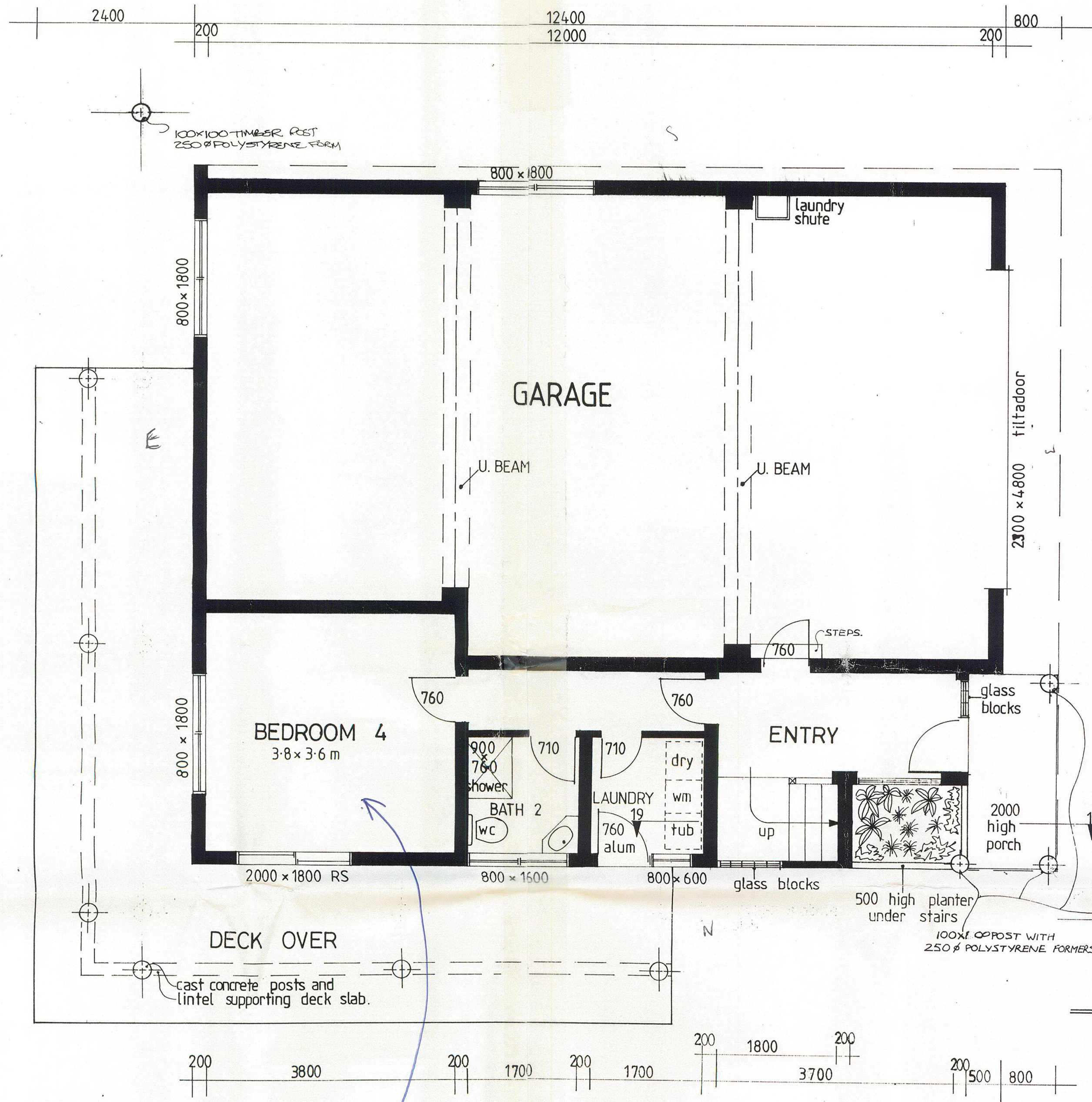
LINTEL FIXING AGAINST UPRIGHT.
 ● — fix lintel and supporting studs against uplift with 1/25x12mm galv strap with 6/ 30x3-15 galv nails per strap end.

ATTIC FLOOR
AREA 51.74m

drawing number. **3** OF 7

MR MRS. P. HARRIS
RURIMA RISE
COASTLANDS





BASEMENT 1:50

AREA: 129m²

HARRIS

drawing number 4 OF 7



Pat
 BEDROOM 4
 STRAPPED WITH 50x40
 BATTEN @ 600MM CRS
 VERTICALLY TO PROVIDE
 'AIR GAP' FOR INSULATION

